

**R-6 ZONE BUILDING SETBACK REQUIREMENTS**  
 Front Street Line Setback..... 25'  
 Center Line Of Street Setback..... 50'  
 Rear Yard Setback..... 30'  
 Side Yard Setback..... 6' W/ Total Of... 12'  
 Max. Building Coverage.....25% Of Lot Area  
 Max. Building Height.....30' 2 1/2 Stories  
 Zoning Information Is Subject To The Review And Approval By The Appropriate Governing Authority

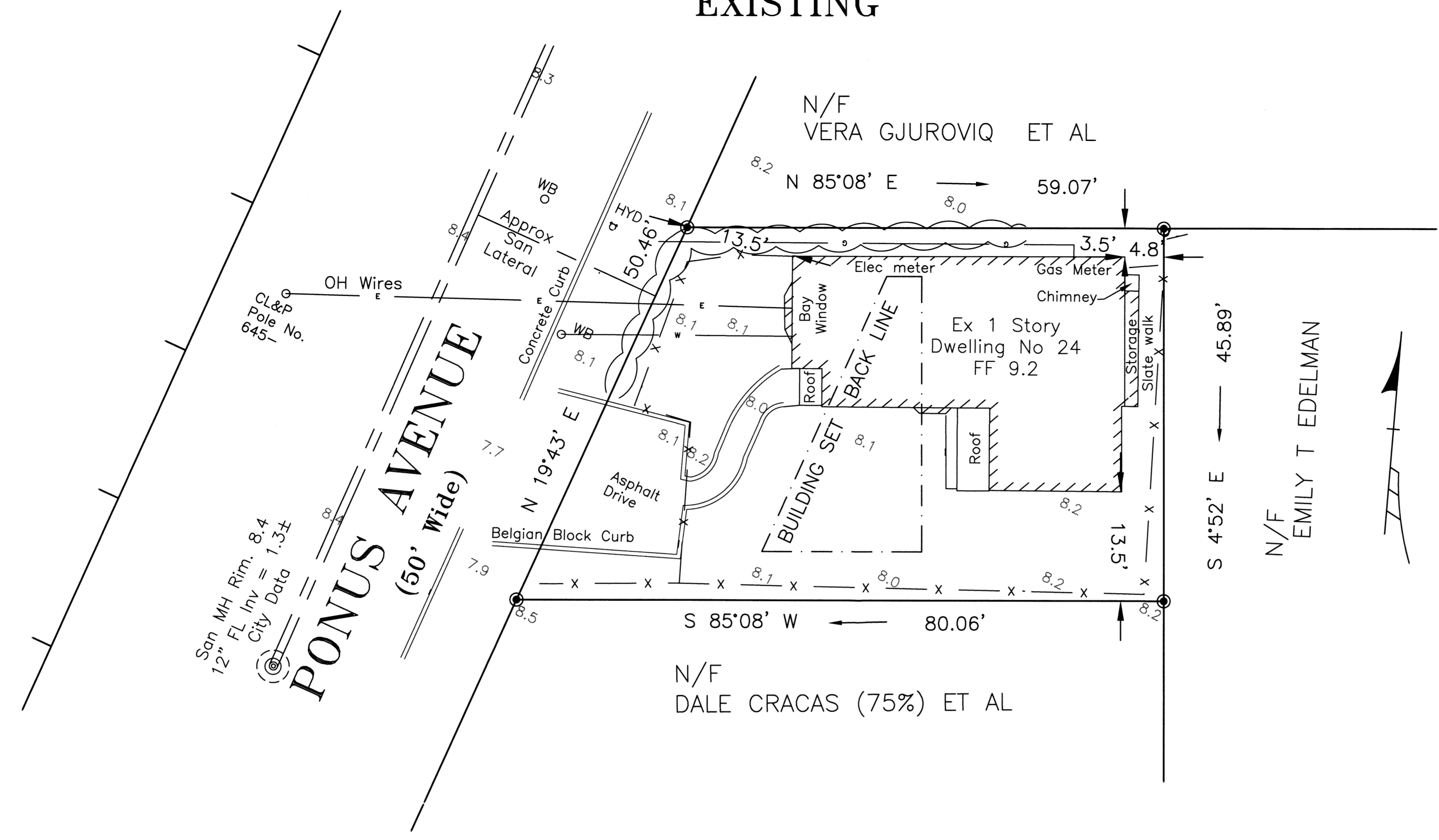
Property Lines Not Staked By Contractual Agreement  
 Soil Types Not Delineated By Contractual Agreement

**LEGEND**

Existing	
Spot Elevation	x 100.0
Contour	--- 100 ---
Storm Drain	=====
Sanitary Sewer	=====
Sprinkler Pipes	=====
Gas Main	-----
Water Main	-----
Electric	-----
Stone Wall	-----
Block Wall	-----
Fence	x x x x x
Guard Rail	-----
Catch Basin (In Curb)	⊠
Catch Basin (Flush)	⊠
Irrigation Control Valve	⊠
Traffic Signal Pole	⊠
Geoprobe Boring	⊠
Rock Outcrop	⊠
Manhole	⊙
Yard Drain	⊠
Light Pole	⊠
Sign	⊠
Tree	⊠
Gas Box	⊠
Water Box	⊠
Sprinkler Head	⊠

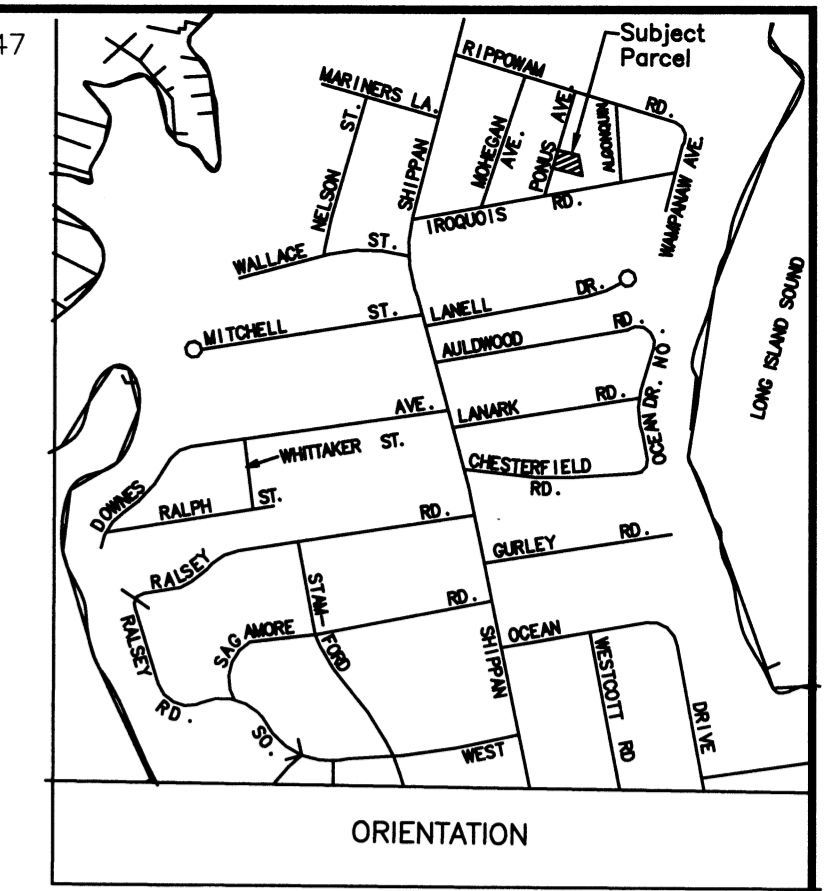
Refer To:  
 PARCEL "B"  
 Map No. 8303 S.L.R.  
 Lot Area = 3,192 Sq. Ft.  
 Existing Dwelling, Storage & Bay Windows Covers 30.0% of Lot Area  
 (Exclusive of Roof only & Chimney)  
 Scale 1" = 20'

### EXISTING



**PLOT PLAN  
 PREPARED FOR  
 LEIGH FRECKER  
 24 PONUS AVENUE  
 STAMFORD, CONNECTICUT**

SCALE IN FEET



#020-21

- General NOTES:
- Underground utility, structure and facility locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parcel testimony and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to Edward J. Frattaroli, Inc. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction.
  - The contractor shall notify all public utility companies by calling Call-Before-You-Dig at 1-800-922-4455 at least 72 hours prior to crossing their lines.
  - Properties Depicted are Subject to Title Verification. Reference is Hearly made to all Notes and Recorded Documents as they may pertain to the Parcels Depicted on this map. Property is Subject to Easements, Covenants and Restrictions of public record (No Title Report Provided.) Refer to Vol. 11483 P 158 S.L.R.
  - Elevations Based on NAVD-88 Datum. Subject Property Lies in Zone "X" The area is depicted as being protected from the 1 percent annual chance or greater flood hazard by a levee system. Overtopping or failure of any levee system is possible for additional information see the accredited Levee Note" in Notes to users. Refer to FEMA FIRM Fairfield County, City of Stamford Community # 09001C0517G Panel # 517 of 626 Effective Date July 8, 2013.

General NOTES: - PROPOSED

- SIZE AND LOCATION OF PROPOSED DEVELOPMENT WAS PROVIDED BY ROGER VAN LOVEREN. REFER TO PLANS DATED 4-19-21 FOR ADDITIONAL DESIGN INFORMATION. IT IS SUBJECT TO THE REVIEW & APPROVAL BY THE APPROPRIATE GOVERNING AUTHORITIES AND THE PROPOSED SITE DEVELOPMENT IS SUBJECT TO MODIFICATIONS AS MAY BE REQUESTED AND OR REQUIRED THROUGH OUT THE GOVERNMENTAL APPROVAL PROCESS.
- Variance's of Table III, Appendix "B" Front Yard, Side yard & Combined Side Yard, Rear Yard and building Area Lot Coverage" Are Requested for the Proposed Buidin additions depicted on this map.

- 25' Minimum Street Line Allowed  
13.5' Requested for Proposed Dwelling
- 50' Minimum Street Center Allowed  
38.5' Requested for Proposed Dwelling
- 6' Minimum Side yard Allowed  
3.5' Requested for Proposed Dwelling
- 30' Minimum Rear Yard Allowed  
4.8' Requested for Proposed Dwelling
- 25% Maximum Building Coverage Allowed  
32.5% Requested for Proposed Dwelling

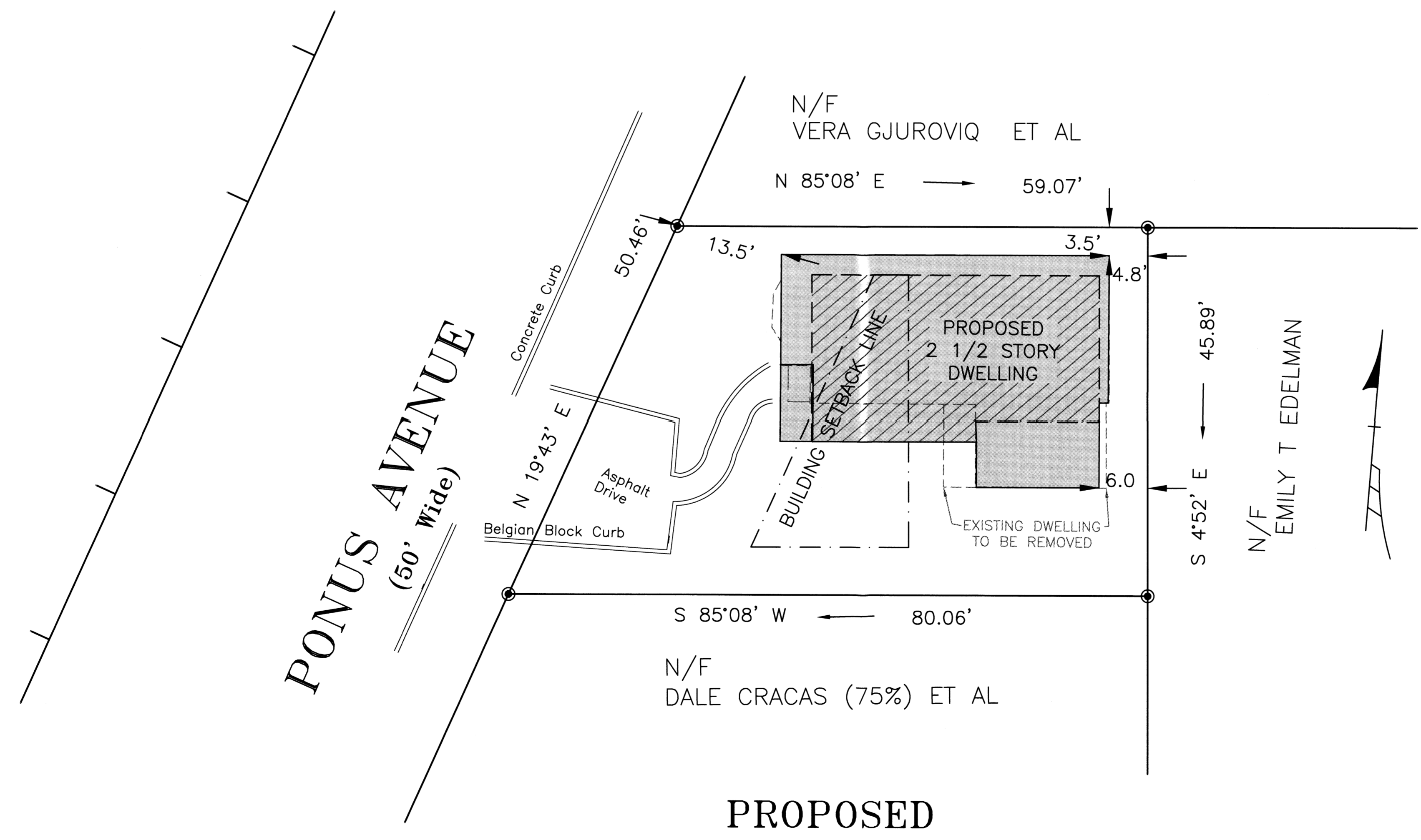
Other Variances may be Required pending the Review and Approval by the appropriate Governing Authorities

This survey and map has been prepared in accordance with Section 20-300b-1 thru 20-300b-20 of the Regulation of Connecticut State Agencies--Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a "ZONING LOCATION SURVEY" based on a "DEPENDENT RESURVEY" conforming to horizontal Accuracy Class "A-2" and intended to be used for Compliance and Noncompliance with Existing Requirements.

To my knowledge and belief this plan is substantially correct as noted hereon.

By: *Edward J. Frattaroli*  
 FOR: EDWARD J. FRATTAROLI, INC.  
 Land Surveyors - Engineers - Zoning Planners  
 STAMFORD, CONNECTICUT JANUARY 30, 2021

### PROPOSED



Refer To:  
 PARCEL "B"  
 Map No. 8303 S.L.R.  
 Lot Area = 3,192 Sq. Ft.  
 PROPOSED DWELLING Covers 32.5% of Lot Area  
 (Exclusive of Items to be Removed)  
 Scale 1" = 20'