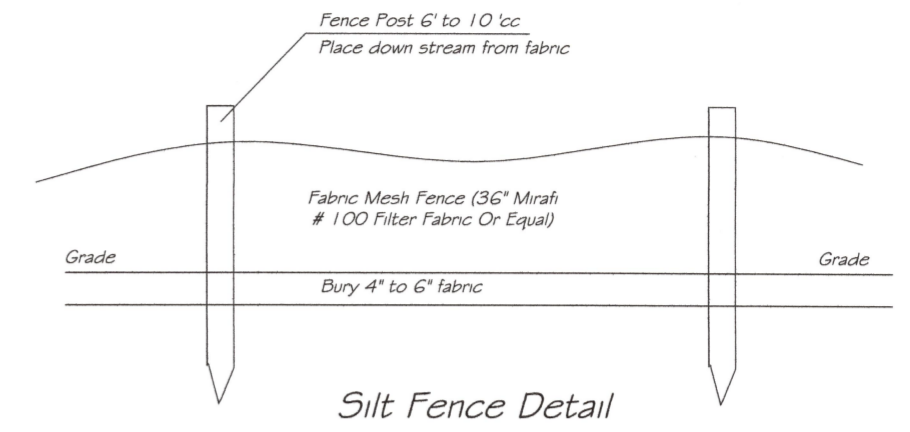


ZONING TABLE R 7 1/2 ZONE

STANDARD	REQUIRED	EXISTING CONDITIONS	PROPOSED CONDITIONS
Lot Area	7,500 S.F.	6,850 S.F.	6,850 S.F.
Frontage	60'	78.98'	78.98'
Front Yard (CL)	55'	51.1'	50'
Side Yard	6'	14.6'	14.6'
Rear Yard	30'	23.3'	23.4'
Building Height Stories	2 1/2	1 3/4	1 3/4
Building Height Feet	30'	18±	18±



Soil Erosion & Sediment Control Notes:

- All disturbed areas not covered with pavement or buildings shall be topsoiled, fertilized and seeded in accordance with the guidelines of the State of Connecticut for Soil Erosion and Sediment Control. Use mix # 1 or equal.
- All Soil and erosion control measures to be maintained during construction.
- All measures to remain intact until all disturbed areas are stabilized.
- All Disturbed areas which are left untouched for 30 days shall temporarily seeded with annual rye grass to prevent excess erosion.

LOCATION MAP NOT TO SCALE

SURVEY NOTES

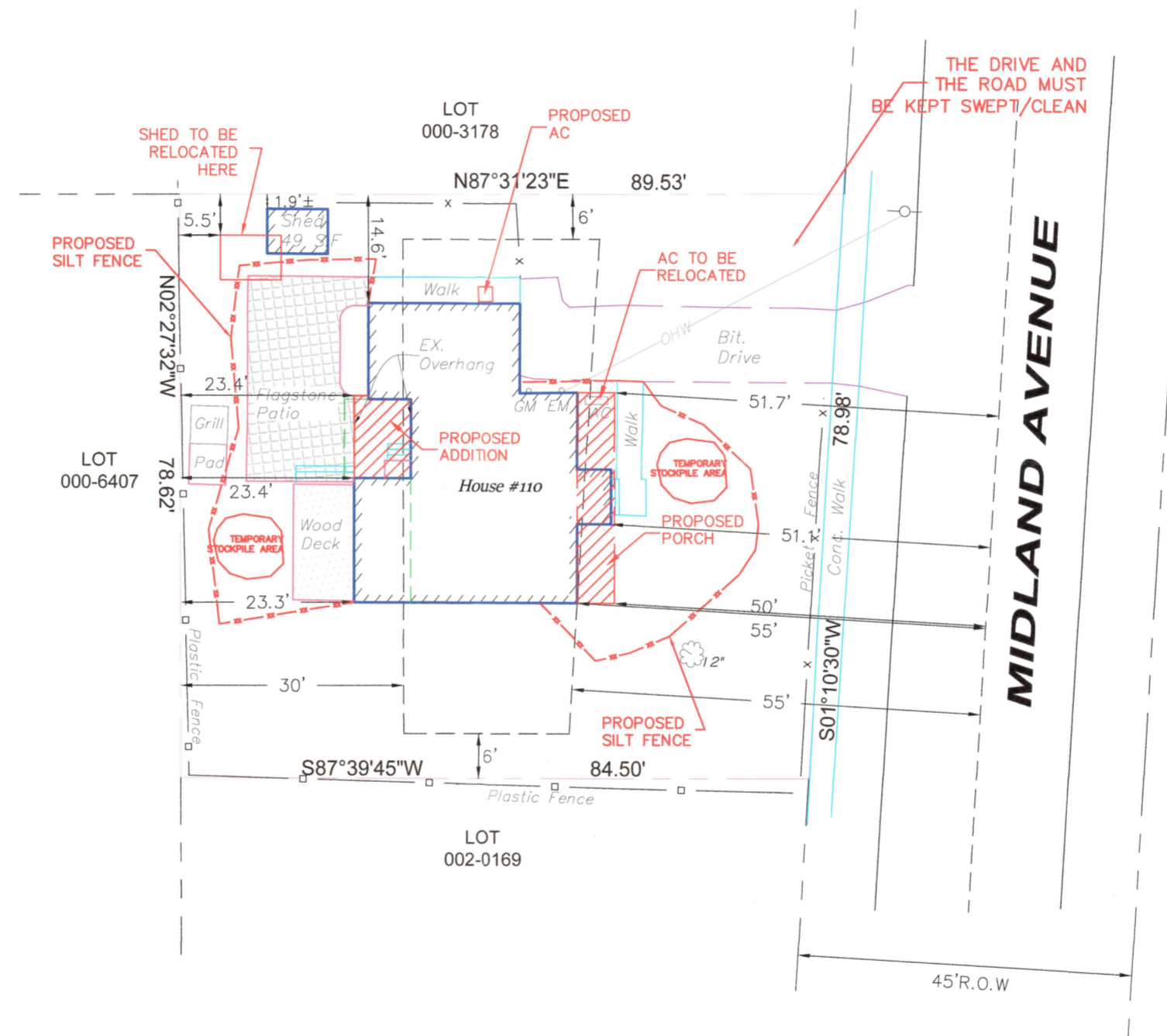
1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THROUGH 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPT. 26, 1996.

IT IS A ZONING LOCATION SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2. THE USE BY OTHER PERSONS OTHER THAN STATED HEREON IS NOT VALID.

2. SURVEYED PARCEL IS SUBJECT TO PRIVATE AND OR PUBLIC RESTRICTIONS AND OR EASEMENTS OF RECORD IF ANY.

3. THE PROPERTY IS LOCATED IN ZONE R-7 1/2, TAX MAP#112 BLOCK #310 LOT#35A.

4. UNDERGROUND UTILITIES SHOWN HEREON-IF ANY ARE BASED ON THE VISIBLE STRUCTURES AT THE TIME OF THE SURVEY AND COMPILED FROM OTHER SOURCES AND THESE LOCATIONS ARE APPROXIMATE. ADDITIONAL UTILITIES ABANDONED OR IN USE MAY EXIST. PRIOR TO ANY EXCAVATION OR CONSTRUCTION CONTACT "CALL BEFORE YOU DIG": 1-800-922-4455.



#023-21

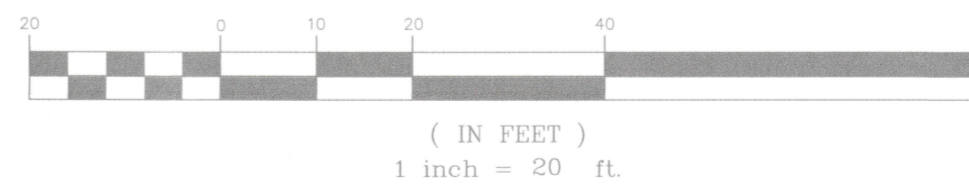
PROPOSED FRONT PORCH NOT INCLUDED

ZONE 7 1/2
LOT AREA: 6,850 SQ. FT 0.16 ACRES

BUILDING/LOT RATIO COVERAGE :	MAX. ALLOWED	EXISTING	PROPOSED
	25%	17.50%	17.50%

PROPOSED NEW IMPERVIOUS AREA 109 S.F.

GRAPHIC SCALE



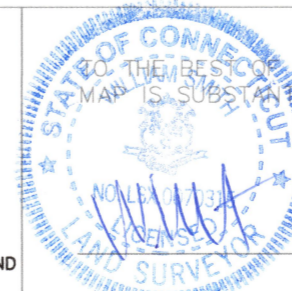
LEGEND:

- Iron Pin/Pipe (Found)
- ⊖ OEM Electric Meter
- ⊞ Mail Box
- ⊞ ORL Roof Leader
- ⊞ OGM Gas Meter
- ⊞ Tree
- ⊞ Light Post
- o/h— Overhead Wires
- Stockade Fence
- x—x— Chain Link Fence
- ⊞ Hedge/Edge Of Bush

DATE: 4/12/2021
SCALE: 1"=20'
SHEET:
DWG NO:

ZONING LOCATION SURVEY
110 MIDLAND AVENUE
STAMFORD, CONNECTICUT
PREPARED FOR EDGAR FELICIANO

THE EMBOSSED SEAL OF THE LAND SURVEYOR MUST BE AFFIXED HERE FOR THIS MAP TO BE VALID



WILLIAM SMITH L.S.#70315

K&A LAND SURVEYORS LLC

1266 EAST MAIN STREET SUITE 700R
STAMFORD, CONNECTICUT 06902
(203) 274-0246

ADDITION + ALTERATION

110 MIDLAND AVENUE
STAMFORD, CT 06906



AERIAL MAP



GIS MAP

SCOPE OF WORK

1. CONVERT EXISTING POWDER ROOM TO FULL BATH.
2. CREATE 1 STORY ADDITION ALIGNED WITH REAR WALL BETWEEN HOUSE & GARAGE.
3. ENLARGE TWO EXISTING DORMERS.
4. REMOVE ENCLOSED FRONT ENTRY FOYER & REPLACE WITH PROPOSED DECK. NOT TO EXCEED EXISTING FOYER / STEP DEPTH V.I.F.
5. SEE SURVEY FOR PROPOSED SCOPE

DOCUMENT HISTORY

REV#	DATE	PURPOSE
05.18.2021		ZONING BOARD OF APPEALS APPLICATION

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- DEMOLITION
- N.I.C. NOT IN CONTRACT

NOTE:
1. VERIFY ALL DIMENSIONS IN FIELD.
2. VERIFY ALL EXISTING CONDITIONS IN FIELD.

PROGRESS PRINT
NOT FOR CONSTRUCTION

EMILIA
FERRI

architecture+design

ARCHITECT:
EMILIA FERRI ARCHITECTURE + DESIGN
P.O. BOX 4535
GREENWICH, CT 06831
c: 203.545.7761
f: 203.813.3860
emilia@emiliatferri.com

CERTIFICATE OF AUTHORIZATION



SIGNATURE + SEAL
PROFESSIONAL LICENSE NUMBERS
CT: 0011978 NY: 033560

PROJECT:
110 MIDLAND AVENUE
STAMFORD, CT 06906

SHEET TITLE
TITLE SHEET

SCALE
NTS

DRAWN BY:
EF

PROJECT #
2021.247

SHEET #

T-1.00

APPLICABLE CODES

DRAWINGS PREPARED TO CONFORM TO THE FOLLOWING CODES AND STANDARDS.

- 2018 CONNECTICUT STATE BUILDING CODE
- 2015 INTERNATIONAL BUILDING CODE
- 2015 EXISTING BUILDING CODE
- 2015 INTERNATIONAL RESIDENTIAL CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2017 NATIONAL ELECTRICAL CODE (NFPA 70)
- 2015 INTERNATIONAL PLUMBING CODE
- 2018 CONNECTICUT STATE FIRE CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 2009 ICC A117.1 ACCESSIBLE & USABLE BUILDINGS & FACILITIES
- LOCAL STATE AND FIRE DEPARTMENT REGULATIONS

LIST OF DRAWINGS

- T-1.00 TITLE SHEET
- A-1.00 EXISTING / DEMOLITION FIRST & SECOND FLOOR PLANS, PROPOSED FIRST & SECOND FLOOR PLANS
- A-2.00 EXISTING / DEMOLITION EAST & WEST EXTERIOR ELEVATIONS, PROPOSED EAST & WEST EXTERIOR ELEVATIONS, NOTES & SCHEDULES

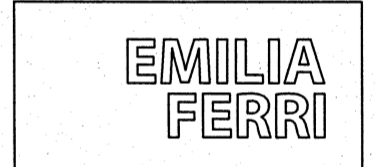
#023-21

DOCUMENT HISTORY		
REV#	DATE	PURPOSE
05.18.2021		ZONING BOARD OF APPEALS APPLICATION

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- DEMOLITION
- N.I.C. NOT IN CONTRACT

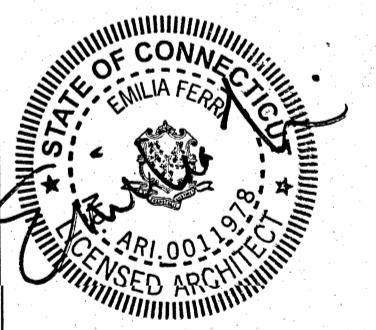
NOTE:
 1. VERIFY ALL DIMENSIONS IN FIELD.
 2. VERIFY ALL EXISTING CONDITIONS IN FIELD.

**PROGRESS PRINT
 NOT FOR CONSTRUCTION**



architecture+design
 ARCHITECT:
 EMILIA FERRI ARCHITECTURE + DESIGN
 P.O. BOX 4535
 GREENWICH, CT 06831
 c: 203.545.7761
 f: 203.813.3860
 emilia@emiliaferri.com

CERTIFICATE OF AUTHORIZATION



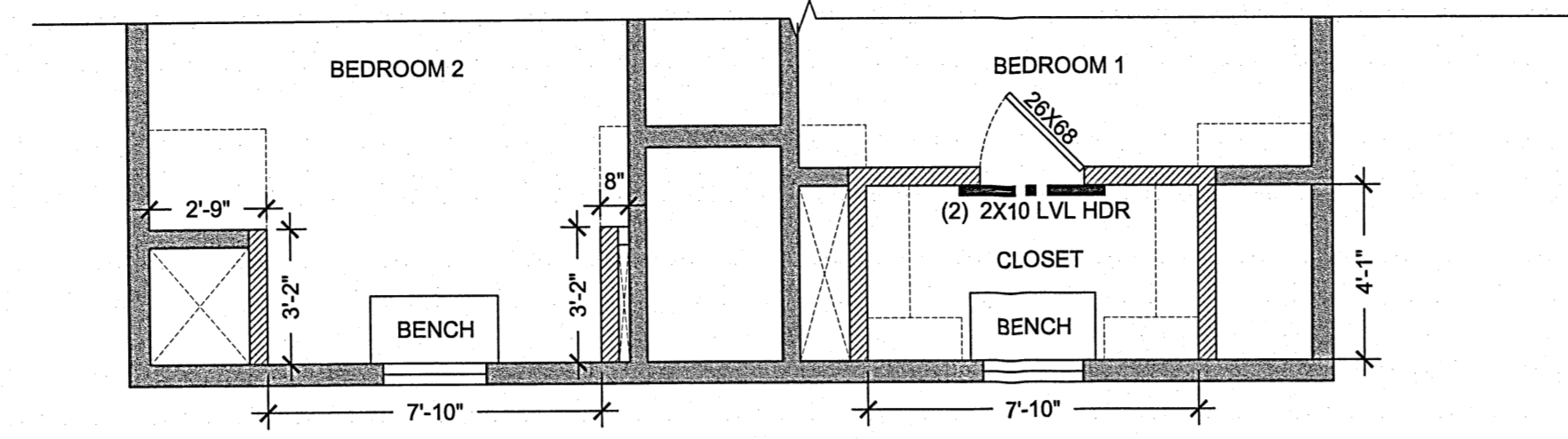
SIGNATURE + SEAL
 PROFESSIONAL LICENSE NUMBERS
 CT: 0011978 NY: 033560

PROJECT:
 110 MIDLAND AVENUE
 STAMFORD, CT 06906

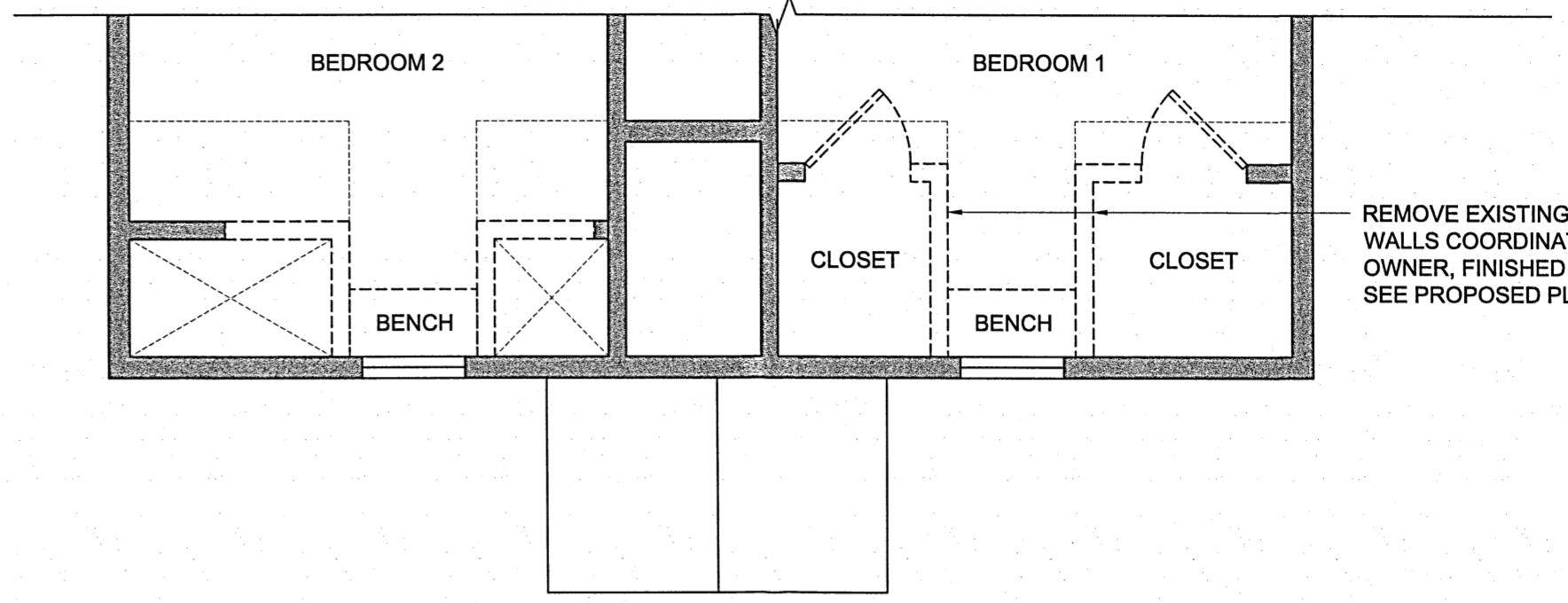
SHEET TITLE
 EXISTING / DEMOLITION FIRST &
 SECOND FLOOR PLANS,
 PROPOSED FIRST & SECOND
 FLOOR PLAN

SCALE	DRAWN BY:	PROJECT #
	EF	2021.247
SHEET #		

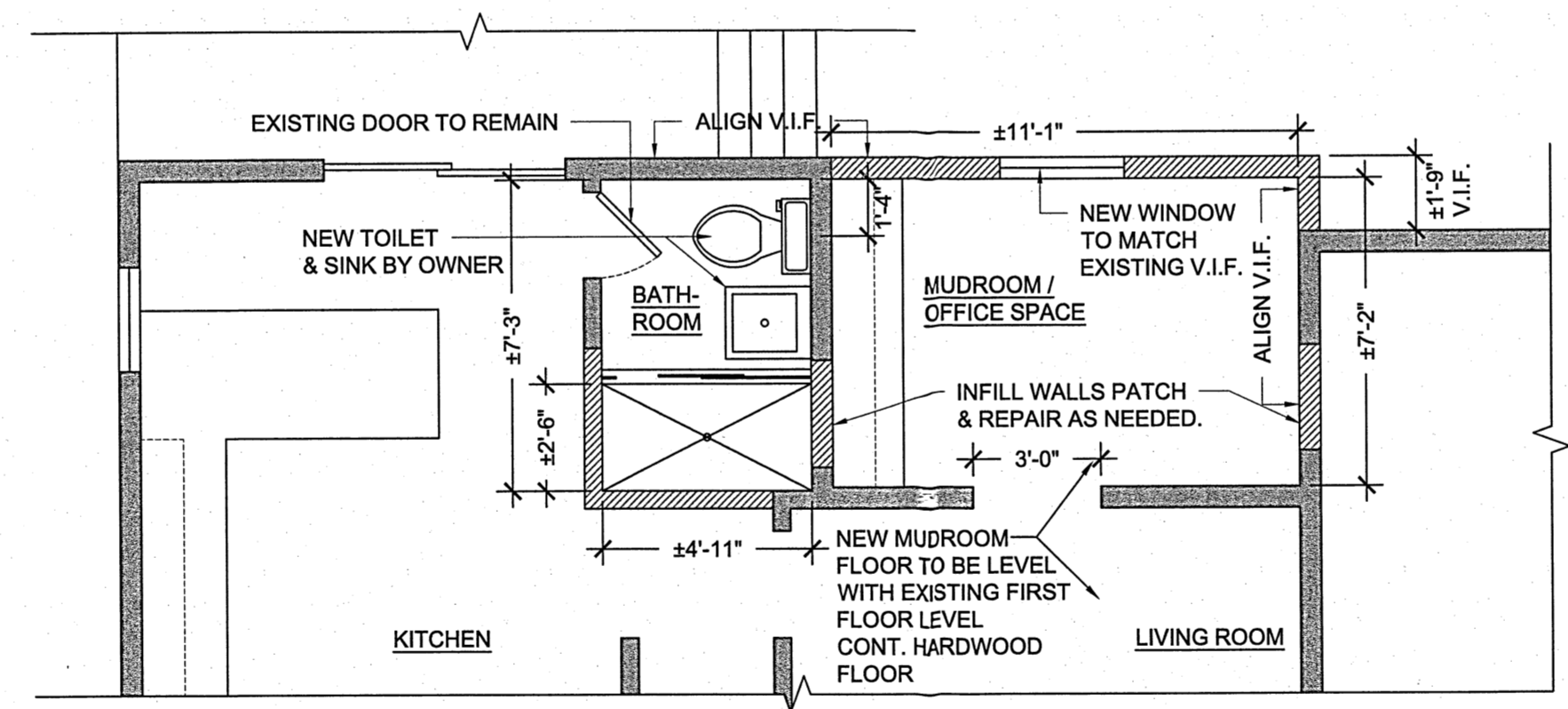
A-1.00



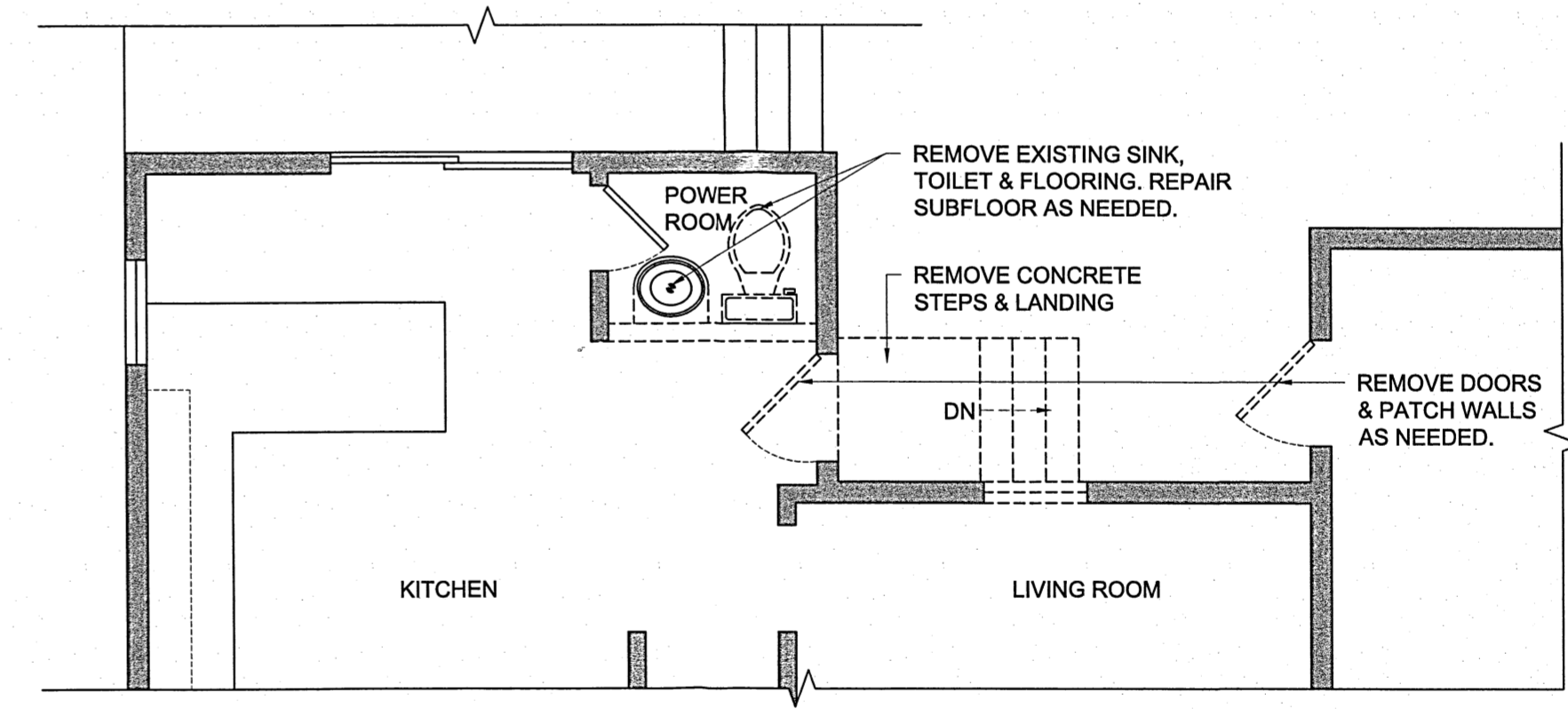
3 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



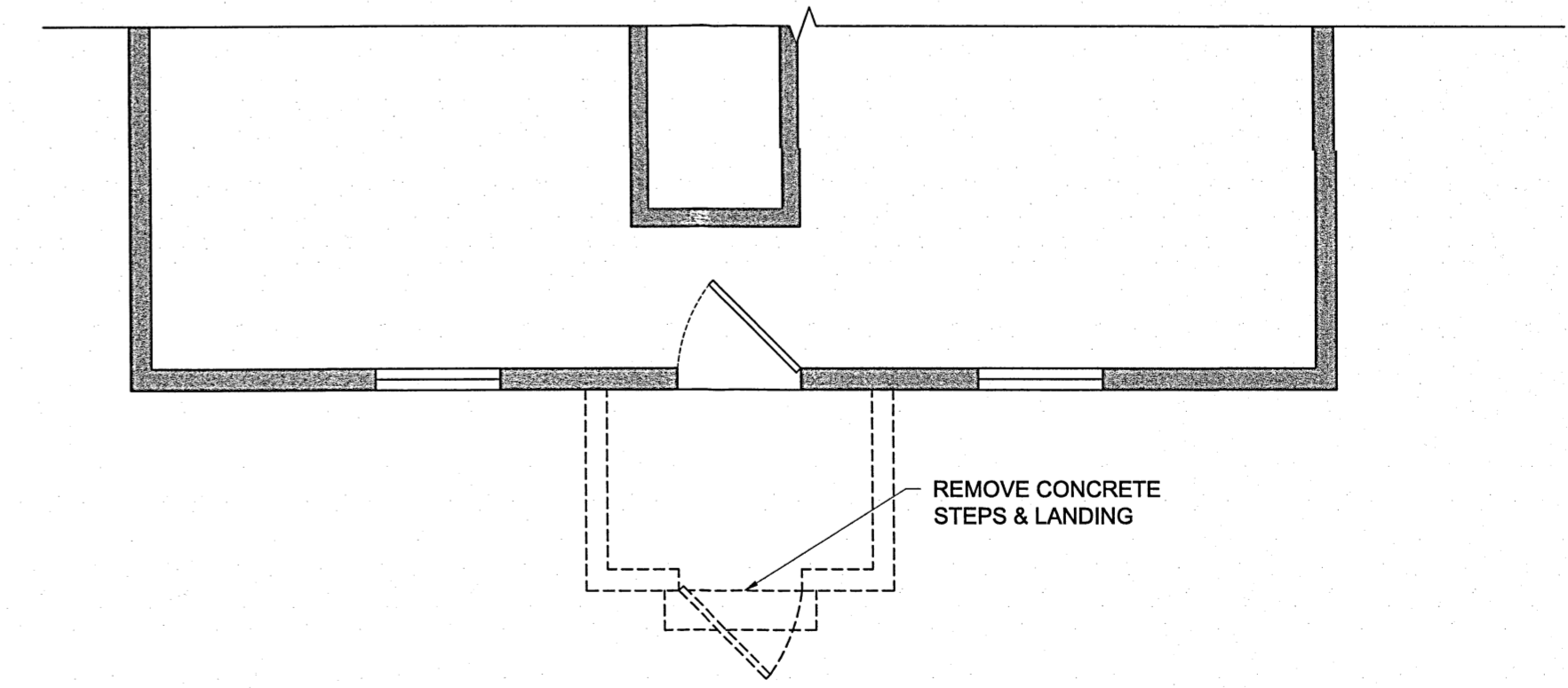
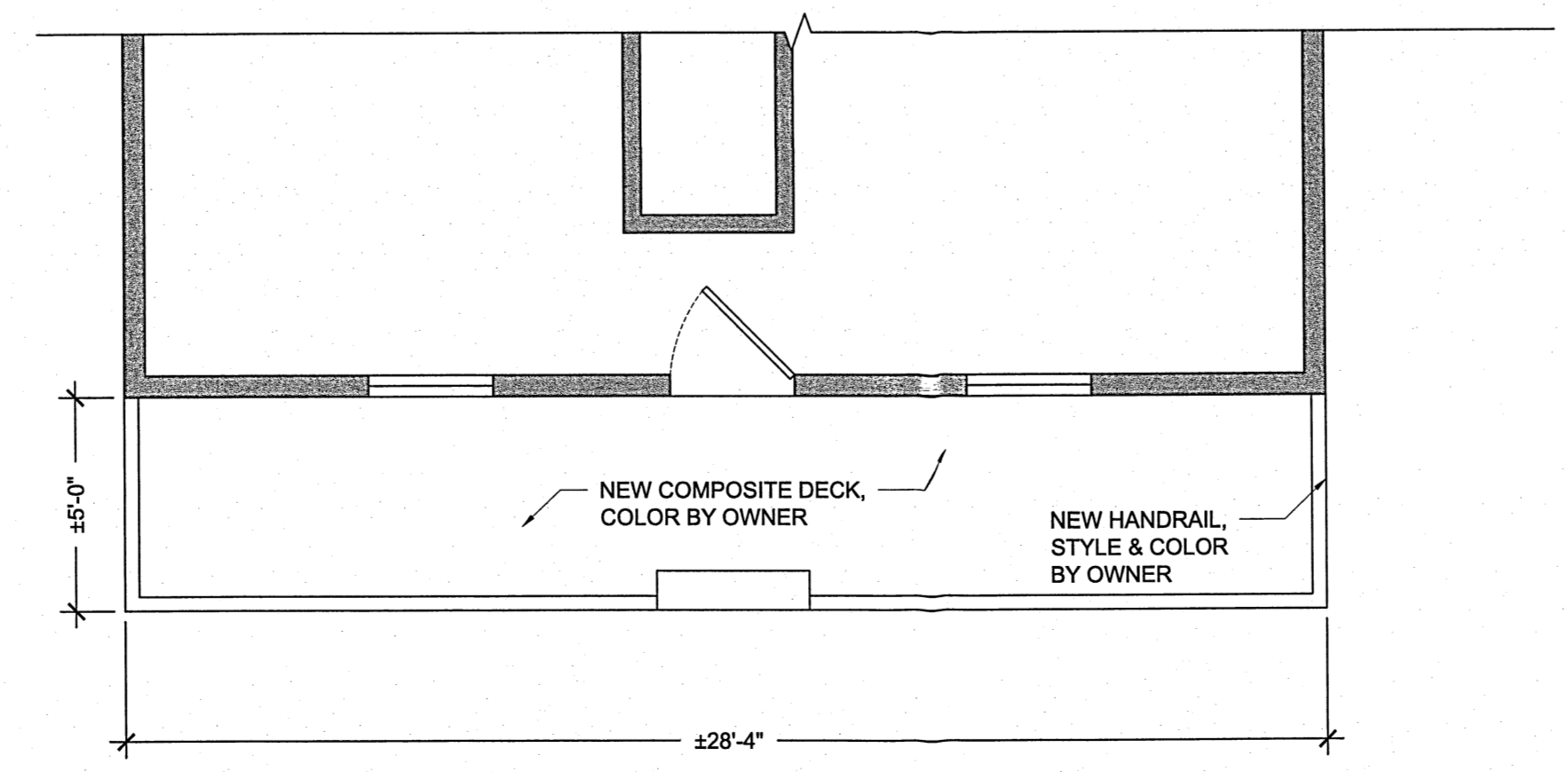
1 EXISTING / DEMOLITION SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



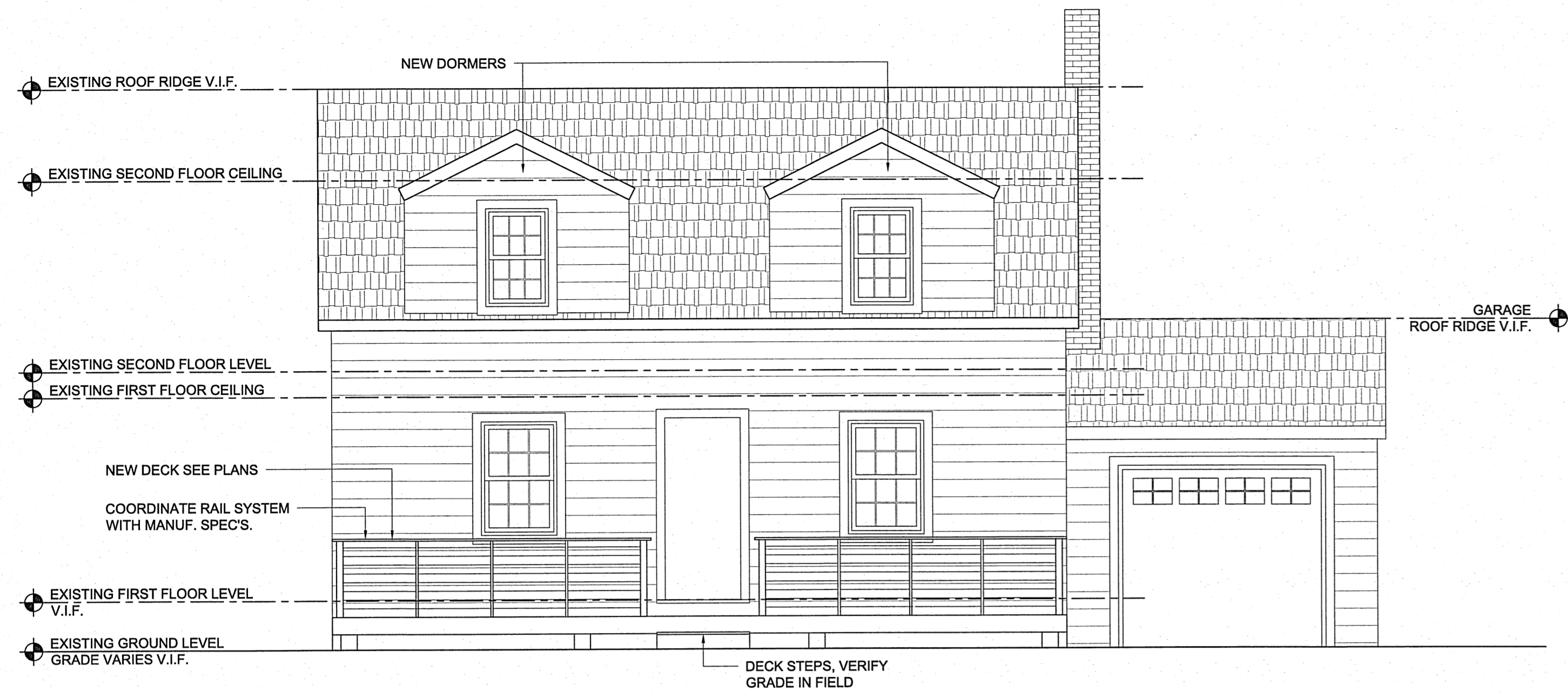
4 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



2 EXISTING / DEMOLITION FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



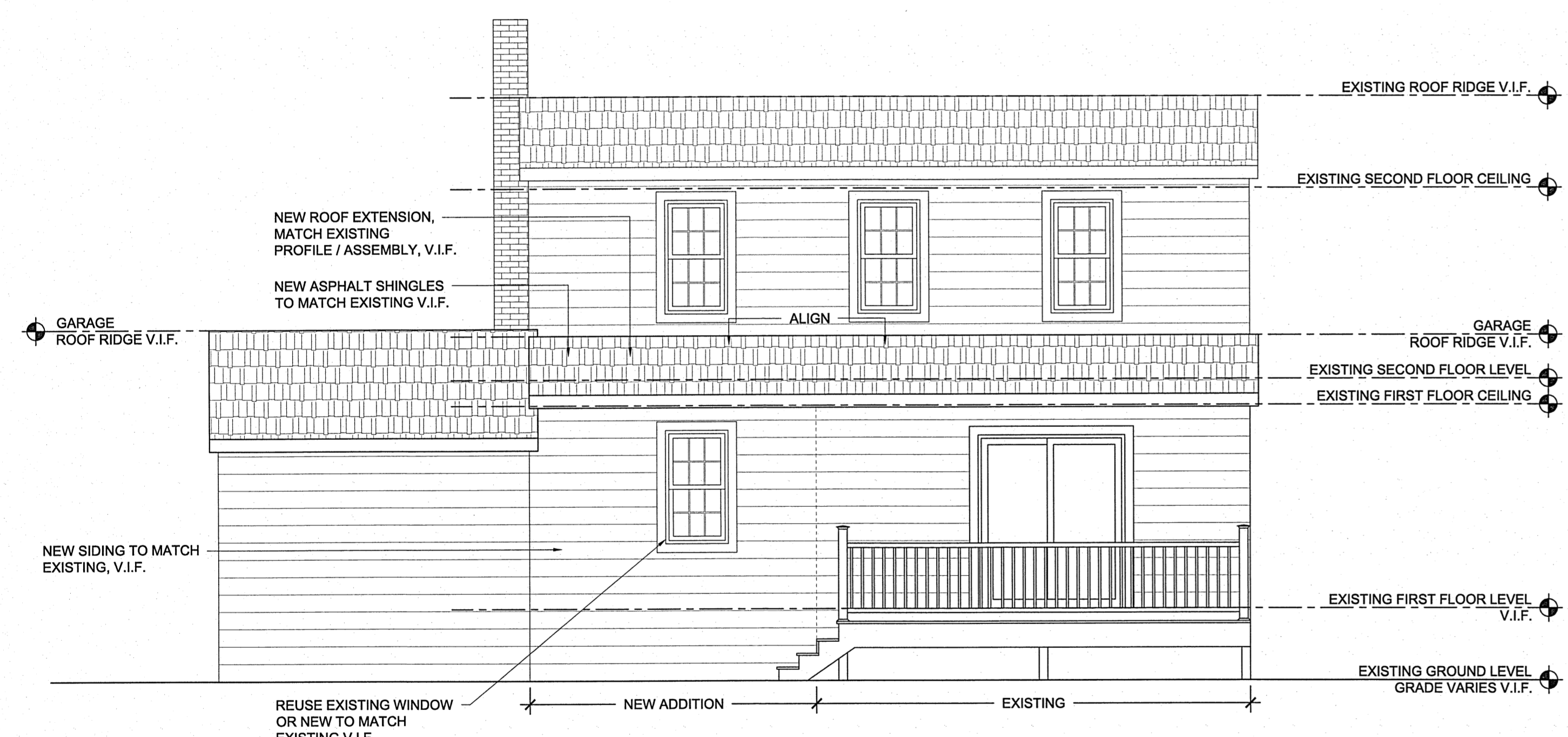
#023-21



3 PROPOSED EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING / DEMOLITION EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING / DEMOLITION WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

DEMO NOTES:

- GENERAL DEMOLITION NOTES:**
- PRIOR TO DEMOLITION, DISCONNECT AND CAP ALL EXISTING UTILITIES AS REQUIRED. COORDINATE SHUT OFF AND REMOVALS WITH UTILITY COMPANIES AS REQUIRED.
 - ALL ELECTRICAL DISCONNECTS AND REMOVALS MUST BE DONE BY A LICENSED ELECTRICAL CONTRACTOR.
 - ALL PLUMBING DISCONNECTS AND REMOVALS MUST BE DONE BY A LICENSED PLUMBING CONTRACTOR.
 - DEMOLISH AS REQUIRED TO ACCOMPLISH WORK INDICATED IN THESE DOCUMENTS. ALL REQUIRED DEMOLITION WORK SHALL BE INCLUDED IN THE BASE BID PACKAGE SUBMITTED BY THE CONTRACTOR. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER TO A LEGAL DISPOSAL FACILITY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY DUMPSTERS AND DUMPING FEES. NO ON SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
 - THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
 - THE CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE SITE TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING WEATHER TIGHTNESS OF FACILITY DURING CONSTRUCTION.
 - CONTRACTOR SHALL PATCH AND/OR LEVEL EXISTING SURFACES AS REQUIRED TO RECEIVE NEW FINISH FLOOR.
- STRUCTURE NOTE:**
- SOME STRUCTURE WITHIN EXISTING CONDITIONS CANNOT BE OBSERVED, IF WHAT IS FOUND IN THE FIELD IS DIFFERENT THEN DRAWINGS INDICATE, CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING. CONTRACTOR IS RESPONSIBLE FOR VISITING PROJECT SITE AND NOTIFYING ARCHITECT PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING REQUIRED TO MAINTAIN THE STRUCTURAL STABILITY OF THE BUILDING DURING CONSTRUCTION.
 - TEMPORARY SHORE EXISTING WALL BEARING OVER HEADERS, SUPPORTING 1ST AND 2ND FLOOR, ATTIC AND ROOF FRAMING DOWN TO SOUND SUPPORT PRIOR TO COMMENCEMENT OF ANY WORK. SHORING LOCATIONS AND CONFIGURATION TO BE DETERMINED BY CONTRACTOR.

SCHEDULES:

WOOD HEADER SCHEDULE:

OPENING WIDTH	FLOOR	SIZE
UP TO 4'-1"	FIRST	(2) 2 X 10 OR (2) 1 1/2 X 7 1/2 LVL'S
4'-1" TO 6'-1"	FIRST	(2) 2 X 12 OR (2) 1 1/2 X 9 1/2 LVL'S
6'-1" TO 8'-1"	FIRST	(2) 1 1/2 X 11 1/2 LVL'S OR (3) 1 1/2 X 9 1/2 LVL'S
UP TO 4'-1"	SECOND	(2) 2 X 6 OR (2) 1 1/2 X 7 1/2 LVL'S
4'-1" TO 6'-1"	SECOND	(2) 2 X 12 OR (2) 1 1/2 X 9 1/2 LVL'S
6'-1" TO 8'-1"	SECOND	(2) 1 1/2 X 11 1/2 LVL'S OR (3) 1 1/2 X 9 1/2 LVL'S

G.C. TO DETERMINE IN FIELD, AVAILABLE ROOM FOR HEADER, AS INDICATED PRIOR TO FRAMING ROUGH OPENING. SEE FLOOR FOR HEADERS WITH SPANS GREATER THAN 8'-1" OR WITH LARGE POINT LOADS.

POST SCHEDULE:

MARK	SIZE	TOP CONNECTION
P1	4x4 OR 2-2x6 OR 3-2x4	2 - SIMPSON "A30" FRAMING ANCHORS
P2	4x6 OR 3-2x6 OR 4-2x4	2 - SIMPSON "A30" FRAMING ANCHORS
P3	6x6 OR 4-2x6	4 - SIMPSON "A30" FRAMING ANCHORS
P4	5 1/2 x 5 1/2 PSL, 6x8 OR 5-2x6	4 - SIMPSON "A30" FRAMING ANCHORS

PSL = PARALLAN BY TRUS JOISTS MACMILLAN POSTS SHALL REST ON GIRDER, FOUNDATION OR APPROVED SOLID BLOCKING

GENERAL NOTES:

- LVL NOTE:**
- ALL DESIGNATED LVL'S SHALL BE 1.8E "MICROLAM" BY "LEVEL WEYERHAEUSER" WITH A FLEXURAL FIBER STRESS OF F_b = 2,800 PSI - 1 OR AN APPROVED EQUAL.
- HEADER NOTE:**
- ALL WOOD HEADERS AT WINDOWS AND EXTERIOR DOORS TO BEAR ON (2) 2x6 JACK STUDS AT EACH END.
 - FLUSH FRAMED BEAMS ARE TO BEAR ONTO CORNER POSTS, SOLID OR BUILT-UP POSTS AS INDICATED ON THE DRAWINGS.
 - WHERE (3) X HEADERS ARE INDICATED, INSTALL (2) 1/2" PLYWOOD SPACERS BETWEEN EACH MEMBER.
- WINDOW NOTE:**
- CONTRACTOR SHALL COORDINATE ALL ROUGH OPENING REQUIREMENTS FOR ALL WINDOWS WITH WINDOW MANUFACTURER. PRIOR TO FRAMING, CONTRACTOR SHALL COORDINATE ALL WINDOWS, WHERE GLASS IS LESS THAN 18" ABOVE FINISH FLOOR SAFETY GLASS SHALL BE PROVIDED.
 - REPLACE EXISTING WINDOW AS SHOWN ON ELEVATIONS. ALL REPLACEMENT WINDOWS SHALL BE FIT, MEASURED & FIELD VERIFIED.
 - ALL EXISTING HEADERS TO BE MIN. (2) 2X10 W/ 1/2" PLYWOOD BTWN. CONTRACTOR TO NOTIFY ARCHITECT IN WRITING IF CONDITIONS DO NOT APPLY, V.I.F.
- POWER PLAN NOTES:**
- COORDINATE WITH OWNER ALL CONVENIENCE & DATA OUTLETS.
 - VERIFY ALL EXISTING OUTLETS & DATA IN FIELD.
 - COORDINATE NEW EXTERIOR OUTLETS WITH OWNER PRIOR TO INSTALLATIONS.
- DIMENSIONS NOTE:**
- ALL DIMENSIONS INDICATED ARE ROUGH FRAMING DIMENSIONS - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINISH TO FINISH DIMENSIONS IN THE FIELD FOR PURPOSES OF FINISHED CARPENTRY WORK, APPLIANCE CLEARANCE REQUIREMENTS AND INTERIOR MILLWORK.

DOCUMENT HISTORY

REV#	DATE	PURPOSE
05.18.2021	ZONING BOARD OF APPEALS APPLICATION	

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- DEMOLITION
- N.I.C. NOT IN CONTRACT

NOTE:
1. VERIFY ALL DIMENSIONS IN FIELD.
2. VERIFY ALL EXISTING CONDITIONS IN FIELD.

PROGRESS PRINT
NOT FOR CONSTRUCTION

EMILIA FERRI
architecture+design

ARCHITECT:
EMILIA FERRI ARCHITECTURE + DESIGN
P.O. BOX 4535
GREENWICH, CT 06831
c: 203.545.7761
f: 203.813.3860
emilia@emiliaferridesign.com

CERTIFICATE OF AUTHORIZATION

SIGNATURE + SEAL
PROFESSIONAL LICENSE NUMBERS
CT: 0011978 NY: 033560

PROJECT:
110 MIDLAND AVENUE
STAMFORD, CT 06906

SHEET TITLE
EXISTING / DEMOLITION EAST & WEST EXTERIOR ELEVATIONS, PROPOSED EAST & WEST EXTERIOR ELEVATIONS, NOTES & SCHEDULES

SCALE DRAWN BY: PROJECT #
EF EF 2021.247

A-2.00